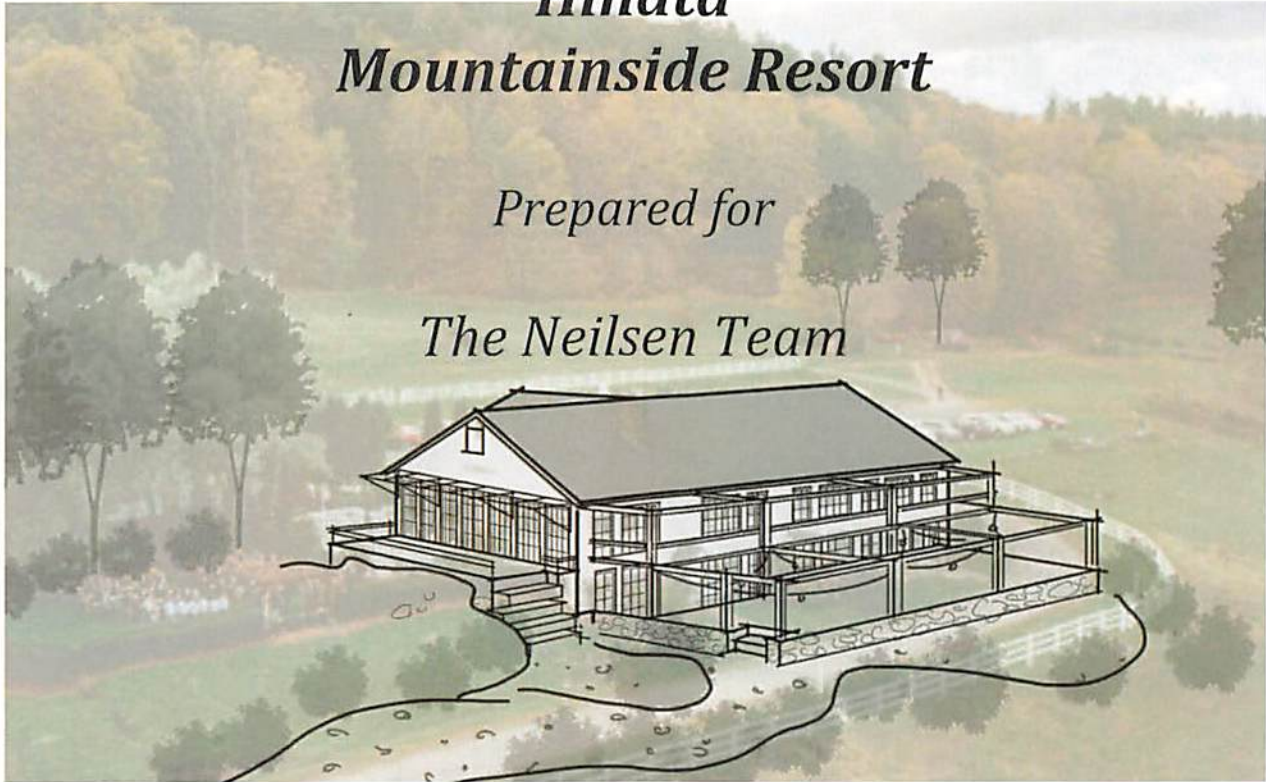


Special Permit Application

Hinata Mountainside Resort

Prepared for

The Neilsen Team



*Located At
133 Warfield Road
Charlemont, Massachusetts*

Prepared by:



DESIGN GROUP, INC.

CIVIL ENGINEERS - SURVEYORS - CONSULTANTS

2 FEDERICO DR., PITTSFIELD, MA 01201 (413) 443-3537

SK Project Number: 230178

March 2024

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133 Warfield Road
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Charlemont Planning Board
P.O. Box 465
Charlemont, MA 01339

March 7, 2024

RE: Special Permit Application-
Hinata Mountainside resort for The Neilsen Team
133 Warfield Road, Charlemont Massachusetts

Dear Mr. Board Members;

On behalf of the Applicant, The Neilsen Team, we hereby submit application for a Special Permit at the above-named property. The proposal is to expand the existing Warfield restaurant and wedding venue to include on-site cabins, creating a mountainside resort.

The proposed development includes the following:

1. Construction of (32) thirty -two new “glamping” cabins;
2. Re-use of an existing restaurant providing food service to guests (and the public);
3. Continued use of other buildings at the property to create a “resort”.

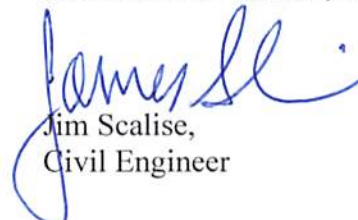
A more detailed explanation is included in the attached Narrative.

Also included with this submission are three (3) copies of the application package, which consists of the Special Permit application form, application fee (\$100.00), and a Certified Abutter's List.

If you should have any questions or concerns, or require additional copies, please do not hesitate to contact the office.

Sincerely,

SK DESIGN GROUP, INC.



Jim Scalise,
Civil Engineer

Attachments

Cc: File

Berk. East

The Neilsen team

G:\SK DESIGN GROUP\2023\230178 Neilsen Team-Warfield Retreat, Charlemont\Documents\Word\Special Permit applic\Cover Letter.docx

**TOWN OF CHARLEMONT
CHARLEMONT PLANNING BOARD
APPLICATION FOR SPECIAL PERMIT**

DATE OF APPLICATION: 3-7-2024

NAME OF APPLICANT: The Neilsen Team: Attn Jeff Neilsen

MAILING ADDRESS OF APPLICANT: 858 Suffield Street, Agawam Massachusetts

PHONE NUMBER: 413.519.3096 EMAIL: Jeff@thneilsenteam.com

LOCATION OF PROPERTY: 133 Warfield Road, Charlemont, Massachusetts

PROPERTY IS IDENTIFIED AT REGISTRY OF DEEDS IN:

BOOK #: 6585

MAP #: 07

PAGE #: 277

PARCEL #: 090

APPLICANT IS: ~~OWNER, TENANT, LICENSEE~~, PROSPECTIVE PURCHASER, ETC.

NOTE: IF APPLICANT IS NOT OWNER, INCLUDE LETTER OF OWNER'S APPROVAL WITH APPLICATION.

REASON FOR REQUEST: Proposed use requires a special permit per the zoning By-Law Resort to include Glamping, restaurant, weddings and guest rooms

DATE OF DENIAL BY BUILDING INSPECTOR: Not required

APPLICABLE SECTION OF BUILDING/ZONING BY-LAW: Use Table 32.3: Other uses not elsewhere classified (Resort)

APPLICANT'S SIGNATURE: 

OWNER'S SIGNATURE, IF DIFFERENT: _____

APPLICANT MUST OBTAIN FROM THE ASSESSORS AND SUBMIT WITH THIS APPLICATION, A CERTIFIED LIST OF ALL ABUTTERS WITHIN THREE HUNDRED FEET (300') OF ALL PROPERTY LINES.

***APPLICANT WILL BE RESPONSIBLE FOR PAYMENT OF NEWSPAPER NOTICE.**

SEND COMPLETED FORMS TO:
CARLENE HAYDEN/CHARLEMONT PLANNING BOARD
P.O. BOX 465
CHARLEMONT, MA 01339

DATE OF RECEIPT BY TOWN CLERK: _____

*****INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.**

☒ Plot plans and floor plans attached.

☒ Abutters list attached.

☒ Check for \$90.00 Special Permit fee plus \$10.00 abutter notice fee included.

133 WARFIELD REALTY, LLC

133 Warfield Road
Charlemont, MA 01339

Jonathan C. Schaefer
Manager

February 27, 2024

Charlemont Zoning Board of Appeals
Town Hall
157 Main Street
Charlemont, MA 012339

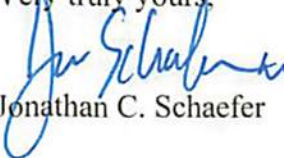
RE: Hinata Retreat Realty, LLC and Hinata Retreat, LLC.

Dear Board Members:

Please be advised that 133 Warfield Realty, LLC assents to and supports the application for a Special Permit filed by Hinata Retreat Realty, LLC and Hinata Retreat, LLC for the proposed development of the Warfield House Inn property at 133 Warfield Road.

Thank you for your attention to this matter.

Very truly yours,



Jonathan C. Schaefer

WEM/nmd

cc: Hinata Retreat Realty, LLC
Hinata Retreat, LLC.
William E. Martin, Esq.
Jennifer Santucci, Esq.
Scott Foster, Esq.
James Scalise
(all by email)

Town of



INCORPORATED 1765

C H A R L E M O N T
M A S S A C H U S E T T S

BOARD OF ASSESSORS

Town Hall
PO Box 337
Charlemont, MA 01339
413-339-4335, x2

CERTIFIED LIST OF ABUTTERS

Date: March 1, 2024

Subject Property Location: 133 Warfield Road

Map: 7 **Parcel:** 90

Property Owner: 133 Warfield Realty, LLC

Per the Assessors records, I certify that the attached lists of abutters are the owners of record within 300' of the subject property.

To the best of our knowledge, this list represents the most current owners of the properties. The accuracy of this listing is based solely on the information currently available in our database at the time of the request. This list is certified for a period of 30 days from the date of this certification.



Carlene Hayden, Clerk
for the Charlemont Board of Assessors

Anthony Ostroski, Chair

Jacqueline Cashin, Assessor

Karen Rau, Assessor



300 feet Abutters List Report

Charlemont, MA
February 29, 2024

Parcel Number: 07-093
CAMA Number: 053/007.0-0000-0093.0
Property Address: RIDDELL RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Parcel Number: 07-096
CAMA Number: 053/007.0-0000-0096.0
Property Address: 169 ROUTE 8A NORTH

Mailing Address: DUPREE BRIAN E & CHRISTINA J
169 ROUTE 8A NORTH
CHARLEMONT, MA 01339

Parcel Number: 07-104
CAMA Number: 053/007.0-0000-0104.0
Property Address: 100 VINCENT RD

Mailing Address: MARDER, DONNA G, TRUSTEE
MARDER REAL ESTATE TRUST
2171 CEDARHURST DR.
LOS ANGELES, CA 90027-5977

Parcel Number: 07-104-1
CAMA Number: 053/007.0-0000-0104.1
Property Address: RIDDELL RD

Mailing Address: BOULTER, BRUCE A. & REEVE S.
788 SOUTH STREET
WRENTHAM, MA 02093

Parcel Number: 12-068
CAMA Number: 053/012.0-0000-0068.0
Property Address: HICKS RD

Mailing Address: HICKS, LORI A.
119 HICKS ROAD
CHARLEMONT, MA 01339

Parcel Number: 12-070-6
CAMA Number: 053/012.0-0000-0070.6
Property Address: MAXWELL RD

Mailing Address: FRIEND, DOUGLAS J.
59 MYRTLE ST, APT #1
BOSTON, MA 02114

Parcel Number: 12-072
CAMA Number: 053/012.0-0000-0072.0
Property Address: RIDDELL RD

Mailing Address: AVERY, DENNIS & JOHN AVERY
99 MOUNTAIN RD
CHARLEMONT, MA 01339



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300 feet Abutters List Report

Charlemont, MA
February 29, 2024

Subject Property:

Parcel Number: 07-090
CAMA Number: 053/007.0-0000-0090.0
Property Address: 133 WARFIELD RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Abutters:

Parcel Number: 02-030
CAMA Number: 053/002.0-0000-0030.0
Property Address: TEA ST

Mailing Address: COMMONWEALTH OF
MASSACHUSETTS MASSDOT
270 MAIN STREET
LENOX, MA 01240

Parcel Number: 02-032
CAMA Number: 053/002.0-0000-0032.0
Property Address: 7 MAIN ST

Mailing Address: ZOAR OUTDOOR ADVENTURE RESORT,
PO BOX 727
CHARLEMONT, MA 01339

Parcel Number: 02-033
CAMA Number: 053/002.0-0000-0033.0
Property Address: 73 EAST HARMONY RD

Mailing Address: HARRIS, BARBARA J.B.
PO BOX 259
CHARLEMONT, MA 01339

Parcel Number: 02-034
CAMA Number: 053/002.0-0000-0034.0
Property Address: 15 NORTH ST

Mailing Address: SOVIECKE, NICHOLAS J. & NAOMI
PO BOX 166
CHARLEMONT, MA 01339

Parcel Number: 07-009-1
CAMA Number: 053/007.0-0000-0009.1
Property Address: TEA ST

Mailing Address: HUTCHINS, ROGER, FALANDES, MAX
FALANDES, ANDREW & JAMES
789 TEA ST
CHARLEMONT, MA 01339

Parcel Number: 07-058
CAMA Number: 053/007.0-0000-0058.0
Property Address: 55 POTTERS RD

Mailing Address: GILCHREST, BYRON C., TRUSTEE THE
GILCHREST FAMILY REALTY TR
PO BOX 16
CHARLEMONT, MA 01339

Parcel Number: 07-061
CAMA Number: 053/007.0-0000-0061.0
Property Address: POTTERS RD EXT

Mailing Address: KING, ASHLEY M.
513 30TH ST. # E
DENVER, CO 80205-3011

Parcel Number: 07-063
CAMA Number: 053/007.0-0000-0063.0
Property Address: 104 POTTERS RD EXT

Mailing Address: HAYWARD, HAROLD T & SANTOS, AN
104 POTTERS RD EXT
CHARLEMONT, MA 01339

Parcel Number: 07-064
CAMA Number: 053/007.0-0000-0064.0
Property Address: LEGATE HILL RD

Mailing Address: KEARNEY, SAMUEL W & ROSALIE
4 BARKER COURT
PARK RIDGE, NJ 07656

Parcel Number: 07-065
CAMA Number: 053/007.0-0000-0065.0
Property Address: POTTERS RD EXT

Mailing Address: KING, ROBERT PATRICK & PATRICI
1680 PONTIAC ST
DENVER, CO 80220-1850



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2/29/2024

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300 feet Abutters List Report

Charlemont, MA
February 29, 2024

Parcel Number: 07-066
CAMA Number: 053/007.0-0000-0066.0
Property Address: POTTERS RD EXT

Mailing Address: SHEEHAN, DANIEL J. & BRYANA J.
701 POND STREET
FRANKLIN, MA 02038

Parcel Number: 07-067
CAMA Number: 053/007.0-0000-0067.0
Property Address: POTTERS RD EXT

Mailing Address: NAUGHTON, GEORGE B
279 NORTH VALLEY RD
PELHAM, MA 01002

Parcel Number: 07-088
CAMA Number: 053/007.0-0000-0088.0
Property Address: 93 WARFIELD RD

Mailing Address: SMITH, SAMUEL BRADFORD
11 CLAFLIN RD
BROOKLINE, MA 02445-4402

Parcel Number: 07-089
CAMA Number: 053/007.0-0000-0089.0
Property Address: WARFIELD RD

Mailing Address: ZOAR OUTDOOR ADVENTURE RESORT,
PO BOX 727
CHARLEMONT, MA 01339

Parcel Number: 07-090-2
CAMA Number: 053/007.0-0000-0090.2
Property Address: WARFIELD RD

Mailing Address: SCHAEFER, JONATHAN C.
59 EAST HAWLEY ROAD
HAWLEY, MA 01339

Parcel Number: 07-090-3
CAMA Number: 053/007.0-0000-0090.3
Property Address: WARFIELD RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Parcel Number: 07-090-4
CAMA Number: 053/007.0-0000-0090.4
Property Address: WARFIELD RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Parcel Number: 07-090-5
CAMA Number: 053/007.0-0000-0090.5
Property Address: WARFIELD RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Parcel Number: 07-090-6
CAMA Number: 053/007.0-0000-0090.6
Property Address: WARFIELD RD

Mailing Address: 133 WARFIELD REALTY, LLC
133 WARFIELD ROAD
CHARLEMONT, MA 01339

Parcel Number: 07-091
CAMA Number: 053/007.0-0000-0091.0
Property Address: RIDDELL RD

Mailing Address: FORBES, DOUGLAS J. & BIHUN-FOR
100 RIDDELL RD
CHARLEMONT, MA 01339-0615

Parcel Number: 07-092
CAMA Number: 053/007.0-0000-0092.0
Property Address: 100 RIDDELL RD

Mailing Address: FORBES, DOUGLAS J. & BIHUN-FOR
100 RIDDELL RD
CHARLEMONT, MA 01339

Parcel Number: 07-092-1
CAMA Number: 053/007.0-0000-0092.1
Property Address: RIDDELL RD

Mailing Address: HOWLETT, MARGARET A.
688C HERITAGE HILLS DR
SOMERS, NY 10589-2046



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2/29/2024

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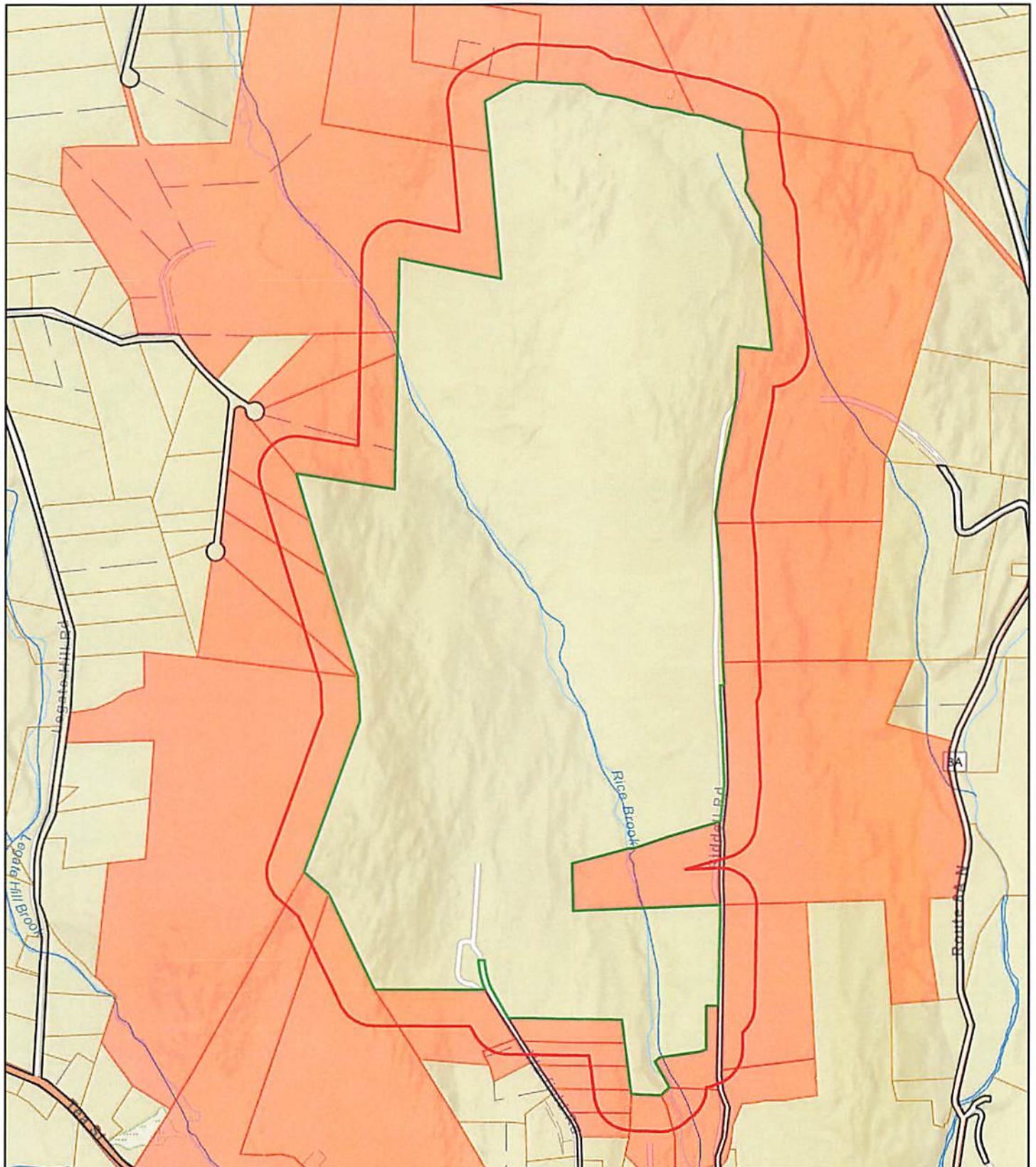
Charlemont, MA

1 inch = 1109 Feet



www.cai-tech.com

February 29, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Project Narrative
Hinata Mountainside Resort
At 133 Warfield Rd.
Charlemont, Massachusetts

SECTION 1.0 – Introduction

The Warfield property owner is under contract with the proponent of this application. The intended use is to re-develop and adaptively re-use the existing buildings and construct (32) thirty-two detached single occupancy dwelling units creating a luxury mountain resort.

Site location

Per the Town of Charlemont Assessor's office, the Warfield House Inn property is listed as Map 07, Lot 90. The general geographical position of the subject property is 42°-38'-10.69" North latitude and 72°-52'-58.64" West longitude.

Per the Town of Charlemont Zoning By-laws, the subject property is in zone "RR", Rural Residential District. This district is intended to maintain the Town's historic pattern of rural settlement at lower density characterized by a scattering of residences and few small businesses throughout expanses of fields, forests, hillsides, and scenic views.

Past Site Use:

Per the Town of Charlemont Assessors, Historical Aerial Photography and Topographic Map Reports, the property was originally settled in 1869 as Valley View Farm. The property's use was strictly residential/agricultural and remained consistent until 1997 when a large barn burned to the ground and a restaurant (J Warfield Glaze's *The Warfield House*) and pavilion were built in its footprint. The property's use as an Inn and event facility with restaurant has remained consistent since the late 1990's, along with a smaller scale agricultural use limited to rescue horses and a small herd of cattle.

Existing Site Description

The subject property is located at the northern limits of Warfield Road in the Town of Charlemont. Warfield Road is a dead-end road. This area of the property is currently used as an event venue and contains several structures, including a restaurant, guest houses, pavilion, and livestock and storage barns with associated driveways. The remainder of the property consists of agricultural fields or

forested land connected by a network of wood roads and recreational trails. Rice Brook flows from north to south through the property. Land surrounding the subject properties is very rural and consists of a mix of residential, undeveloped forest, and agricultural properties in all directions. The property address is the Warfield House Inn located at 133 Warfield Road, Charlemont, Massachusetts.

Twelve (12) onsite structures and the grounds of the developed portion of the property were inspected. Each structure is described in detail below:

Bungalow Building

The Bungalow building is the southernmost structure located on the property. The building is approximate 2,485 square foot (SF), primarily wood constructed, two-story building on a stone and concrete block foundation. The building consists of two (2) rental units with an attached garage at its north end. The building was built circa 1957.

The garage portion of the Bungalow building is utilized for the storage of maintenance equipment (i.e., snowblowers, lawn mowers, small engine equipment), tools, and miscellaneous non-hazardous items.

The grounds immediately surrounding the Bungalow building consisted of mainly landscape beds and mowed turf lawn areas with unpaved gravel driveways and parking area to the north and south. The main driveway to the subject property at the end of Warfield Road is located to the east. The proposed project includes no change to this building.

Main House Building

The Main House building is located just north of the Bungalow building on the property. The building is an approximate 4,366 square foot (SF), primarily wood constructed, two-story building on a stone and concrete foundation with basement. The building consists of eight (8) rental units and one (1) full apartment. The original portion of the building (stone foundation) was built circa 1936 with several additions constructed more recently. Four (3) 400-gallon polyethylene water storage tanks connected to PWS Well 03G and the building water distribution system are in the building basement. Also located in the stone foundation basement was perimeter footing drain system connected to an open outlet pipe system in the southeast corner of the basement. The proposed project includes no change to this building.

Erwin's Barn

Erwin's Barn is located just northwest of the Main House building on the subject property. The building is an approximate 700 square foot (SF), primarily wood constructed, two-story barn building on a concrete slab foundation at grade. The building consists of an apartment unit on the

second floor with a two-bay garage and workshop on the ground floor. A barn is attached to the south end of the building. The building was built circa 1985.

The garage portion of Erwin's barn building is utilized for the storage and maintenance of farm equipment (i.e., tractors, vehicles, motorized equipment). The barn on the south side of Erwins Barn building is an open face wood barn with earthen floor. The barn is utilized for the storage of farm equipment (i.e., tractors, hay bailer, mower, etc.).

Upon inspection of the grounds to the west of Erwins Barn building, SKDG observed two (2) dumpsters. Two (2) small wooden horse barns and well pump house are located to the west of the dumpsters. The pump house is connected to PWS well 02G located in the adjacent cow pasture. The building will be adaptively re-used for recreational purposes.

Farm Equipment Storage Barns

Two (2) open face barns are located to the south of Erwins Barn building and to the west of the Main House. The eastern barn is utilized as a chicken coop of the north end with farm equipment storage in the southern half. The western barn is also utilized for farm equipment. These buildings will remain changed.

Cattle Barn

A large wooden cattle barn with a concrete slab foundation at grade is located to the north of Erwins barn. The cattle barn is utilized to shelter and feed the cattle at the onsite farm. This building is not heated. This building will be used for storage purposes.

Miscellaneous Storage Barns

Two (2) small wooden storage barns are located between the Sugar House and Cattle Barn. The southern barn is utilized for storage of rafting equipment (paddles, life vests, etc.). This building is not heated. The northern barn is utilized as a horse stable and is not heated. The letters VVF are displayed on the east wall of this building. This building will be demolished.

Sugar House Building

The Sugar House building is located to the south of the Restaurant. The Sugar house is a two-story, primarily wood constructed building on a concrete foundation at grade. The building is not heated. The second floor is utilized for the storage of miscellaneous equipment and furniture. The ground floor contains equipment utilized for the maple syrup production process, including a large wood fired boiler, evaporator, and firewood storage. This building will be demolished and replaced with a hardscaped patio.

Restaurant Building

The Restaurant building is the largest building on the property and located northernmost in the developed area of the subject property. The building is an approximate 26,950 square foot (SF), primarily wood constructed, two-story building on a concrete foundation with walk-out basement. The building consists of dining rooms, bar areas, restrooms, kitchens on both floors with utility and storage rooms in the basement. The building was built circa 1998. Four (4) 300-gallon polyethylene water storage tanks connected to PWS Well 02G and the building water distribution system are in a room on the south side of the building basement. The building will be improved, expanded and continued to be used.

The grounds immediately surrounding the Restaurant consists of landscape beds and mowed turf lawn areas with unpaved gravel driveways and parking area to the east, north, and west.

The Warfield property contains over 473 acres of land. It contains several buildings and is used for a variety of purposes, including residential, commercial, and farming. It is best known for the “Warfield House Inn”, which contains 14 rental rooms in two buildings. The property also hosts many weddings, particularly in the summer. The property slopes primarily from west to east and contains vast areas of open meadow, with commanding views to the east and south. The property is serviced by a town sewer and several community drinking water wells.

Proposed Development

The Applicant intends to re-purpose approximately 50± acres of the site and the existing buildings into a resort consisting of a glamping campground, restaurant, and wedding venue. The restaurant use, lodging and wedding venue are uses that currently exist on the property.

The proposed program for the facility is outlined as a typical mountain resort. This resort will benefit from local activities including river rafting, skiing, biking, fishing, and hiking. The property will include the following uses:

1. Glamping-individual dwelling units with amenities including small kitchenette, lavatory with shower and heat. The property currently has an established use as Bed and Breakfast. The proposal includes no campsites for tents or campers.
2. Food Service-the existing Warfield restaurant will be re-purposed to provide food service to guests and patrons of the resort in addition to the general public.
3. Gatherings-this includes weddings, birthdays, corporate outings, and similar uses requiring event space with supporting services.

4. Recreation-passive recreation including hiking, fishing, XC-skiing, mountain biking and sports courts/areas. Yard games including cornhole, bacci ball, frisbee golf etc. A barn game shed with billiards, golf simulators, darts, foosball, ping pong etc.
5. Amenities-hot tubs, swimming pool(s), onsite food options, outdoor movies, planned events, workout area, and meeting center.
6. Wellness-Various wellness activities on premises, yoga, meditation, hiking, guided meditation walks, music events, sunflower field, light shows (Christmas light trail), on-site spa or third party in room spa sessions, and reiki.

Zoning District

The property is in the “RR” zoning district. The following is a listing of the Dimensional Requirements per the Town of Charlemont Zoning Regulations:

*Town of Charlemont
Table of Dimensional Requirements*

Minimum Area	Lot Frontage (Feet)	Yard Minimum (Feet)		
		Front	Side	Rear
45,000 S.F.	150	50	50	50

The project meets all dimensional requirements.

SECTION 2.0 – Zoning Requirements

The proposed use is a year-round resort using luxury cabins as guest accommodation. The use category “Resort” is not a listed use and thus has been evaluated under alternative use categories including “other uses not elsewhere classified”. Several uses are proposed at the Warfield property including the continuation of the onsite restaurant, wedding venue, commercial recreation, bed and breakfast, and glamping. Each of the uses is allowed by Special Permit through the Planning Board in the RR zoning district. The combined uses creates a resort, a use not defined. A “campground” use is not applicable as the definition of a campground indicates the use is *seasonal*, while this project will be year-round.

I conclude the best category for the proposed resort use is to apply for a Special Permit for “Other uses not elsewhere defined” to capture the entirety of the intended use. This approach will provide freedom to the applicant to use the facility as intended. The Special Permit for Other Uses

sufficiently permits the activity to occur year-round with its appurtenant and accessory uses. This permit would allow the existing Bed and Breakfast lodging use, restaurant, and event space to expand to include glamping (luxury camping in cabins), its accessory uses and continue in a creative and modern fashion.

SECTION 3.0 – Utilities

Sewerage

The existing Warfield House property is tied into the municipal sewer, which flows southerly down Warfield Rd. to Main St. A summary of existing wastewater flows is as follows:

Table 1
Warfield House Estate, Charlemont, MA
Wastewater Flow Calculations

Wastewater Source	Unit	Unit Quantity	Unit Flow ¹ (gal/day/unit)	Wastewater Production (gpd)
Bed & Breakfast (The Main House)	Bedroom	9	110	990
Bed & Breakfast (The Bungalow)	Bedroom	6	110	660
Apartment (The Sugar House)	Bedroom	1	110	110
Restaurant	Seat	275	35	9,625
Seasonal Use - Function Hall (Pavilion) ²	---	---	---	429
TOTAL SANITARY FLOW:				11,814
Infiltration - 4" PVC Pipe ³	mile	0.65	1000	6,47
TOTAL WASTEWATER FLOW:				12,461

Notes:

1. Wastewater unit flows based upon 310 CMR 15.203

2. For Pavilion flows see Table 2, below.

3. TR-16 2.2.3.3 - Infiltration: 250 - 500 gpd/in diameter/mile pipe. Use 250 gpd for low groundwater area.

Table 2
Warfield House Estate, Charlemont, MA
Pavilion Flow Calculations

Wastewater Source	Unit	Unit Quantity	Unit Flow (gal/day/unit)	Wastewater Production
Seasonal Use - Function Hall (Pavilion) Used 20 days per year, once per week	Person	200	15	3,000 gpd
		Annual Flow (gallons):		60,000 gal
		Average Daily Flow (5-day - when in use):		600 gpd
		Average Daily Flow (weekly - when in use):		429 gpd
		Average Daily Flow (monthly - when in use):		393 gpd
		Average Daily Flow (annually):		164 gpd

The resort is expected to generate approximately 7,589 gls/day of wastewater. This amount is approximately 2/3 of the allocated wastewater flows for the property.

Title V Flow estimates

Proposed use	Unit	unit qty	Unit flow (GPD)	WW production (GPD)	Remarks
Campground	Bedroom	30	110	3300	
Function Hall	person			429	Part time use
Restaurant	seat	60	35	2100	Public Restaurant
Main House B & B	Bedroom	9	110	990	
Bungalow B & B	Bedroom	6	110	660	
Apartment Sugar house	Bedroom	1	110	110	

7,589* GPD

*The estimated wastewater flows are likely double actual flows based on Title V estimates and the restaurant use does not account for the patrons to also likely be resort guests which results in counting water usage twice. Thus, 7,589 gls/day is a conservative estimate.

Potable Water

The Warfield House property currently maintains a public water supply well that provides potable water to the property. The proposed uses will not adversely impact the capacity of the well. Due to its location and protective radius, the long-term plan is to replace the existing wells with a new well.

located remotely from the development area. In the meantime, the plan is to install a new underground 4,000 gl. storage tank to provide proper, uninterrupted service to the new campground area. A new variable-speed water booster pump system will be connected to the tank.

Fire Protection

Fire protection will be provided in the new camping area. A ¹10,000 gl. storage tank will be installed, filled, and connected to a dry hydrant. This will provide stored water that a fire truck could utilize as back-up in the event of a fire. The proposed tank and hydrant location are illustrated on the Utility Plan that accompanies this application.

Stormwater

This is provided by existing topography and conditions. While changes are proposed to surface cover and the resulting curve numbers the property does not include any new point source discharges. As a result, all the stormwater runoff is “disconnected”. Impervious area disconnection allows storm water from impervious areas, such as rooftops and pavement, to be directed to pervious natural or landscaped areas and infiltrate into the soil. Impervious surfaces that drain directly to catch basins or storm drains are a directly connected impervious area. These areas prevent storm water infiltration into the soil or filtering through vegetation and soil. Impervious areas also increase the speed and amount of runoff from a site, which may contribute to peak flows and scour in downstream waterways. The project proposes rooftop and road surfaces be disconnected. This is accomplished by incorporating the following key design features into the project:

- i) Disconnecting downspouts and using splash blocks or rain chains is a low-tech option to hard piped downspout systems. Existing downspouts can be retrofitted. runoff is directed to one or more of the following: a rainwater harvesting system where it is temporarily stored for later use; a specifically designed pervious area where it infiltrates into soil; or across a vegetated surface, like a lawn or meadow, where it is filtered prior to reaching a water body.
- ii) Simply redirecting a downspout so it discharges onto a lawn, mulched shrub bed, or other planted area instead of an impervious surface such as a driveway can greatly reduce the amount of rainwater and pollutants that leave a property and reach a water body. By slowing down and soaking in rainwater where it lands, water is conserved, and runoff pollution decreased.

Specific design considerations include:

- Rainwater must be directed away from foundations and footings.

¹ Or multiple smaller tanks

- Downspouts should not be directed to paved areas or across sidewalks.
- Landscaped areas receiving roof water should be adequately sized to prevent runoff or erosion and to allow for infiltration.
- Incorporate the use of bio retention cells at each dwelling unit or alternatively infiltration BMPs depending upon the depth and thickness of the soil strata. Areas that can be graded so that they drain onto pervious area, such as landscape or natural area can increase the opportunity for infiltration and minimize the size of downstream treatment.

Sites should be evaluated to ensure disconnecting downspouts won't have negative impacts.

- Rainwater must be directed away from foundations and footings.
- Downspouts should not be directed to paved areas or across sidewalks.
- Landscaped areas receiving roof water should be adequately sized to prevent runoff or erosion and to allow for infiltration.

SECTION 4.0 – Traffic

The project is not expected to generate enough traffic to negatively impact the carrying capacity (or safety) of the public roadway (Warfield Rd.) Traffic estimates based upon trip generation rates established by the Institute of Transportation Engineers (ITE) reveals the proposed use will have less traffic than the former restaurant use. The table below provides a summary of estimated traffic for the proposed as compared to the existing uses of the property. Most proposed trips are from the banquet hall, which is anticipated to be intermittent use rather than daily use. Weddings, for example, are anticipated to be 20 events per year consistent with existing sewer and use estimates.

Trip Generation Worksheet

Use	LUC	#	Units	AM Peak Hour	PM Peak hour	Weekday Daily Trips	Weekend Peak Hour	Weekend Daily Trips
Campground	Y24	30	Sites	12	12	60	18	90
Banquet Hall		275	seats	44	83	787	91	773
Restaurant (60 seats)	831	1200	SF	7	11	108	13	113
Apartment	219	1	Rooms	3	16	7	1	6
Guest Suites/Staff		6	Rooms	6	19	40	3	38
				71	139	1001	125	1021

Existing uses								
Motel Rooms-B & B	320	15	Rooms	10	10	138	11	133
Apartment	219	1	Rooms	3	16	7	1	6
Restaurant (275 seats)	831	5500	SF	31	50	495	60	519
Banquet Hall-Pavilion		275	seats	44	83	787	91	773
Existing uses # of Trips Total				88	158	1426	162	1431
Reduction				-16	-19	-425	-37	-410

Parking

Parking is provided for the restaurant and banquet facility as currently exists. There is also parking at the Main House and the Bungalow (which will remain).

The parking area behind the Warfield Restaurant (with overflow on the adjacent gravel driveway) will remain. The new glamping cabins will have parking near each dwelling unit. A tabulation of available parking and parking demand is as follows:

Parking Evaluation					
use	Demand	units	# of units	# of spaces	Remarks
Commercial lodging	1.25	per DU	32	40	# of cabins
Banquet Facilities	20	1000 sf	2750	55	10 sf /guest
Fine or casual dining	20	1000 sf	1200	24	20 sf/ guest
Total parking demand				119	
Parking provided					
Commercial lodging	1.5	per DU	32	48	# of cabins
Existing parking area at Warfield				79	existing spaces
Total parking provided				127	

The proposed parking design meets the estimated parking demand.

Lighting

The proposed project includes a limited amount of additional lighting (for safety). Area lighting will be provided in front of each proposed cabin. These lights will be mounted at 8 feet above ground. A sample of the residential pole mounted Cabin lights is seen here.



A few street lights will be provided in the campground area at key intersections and “dark” spots (see Site Plan). The lights will be low profile cut-off fixtures meeting Dark Sky standards to avoid night glow.

Finally, new lights will be installed around the existing parking lot nearest the restaurant. Again, these will be similar to the street lights.

Signs

The project proposes the replacement of the Warfield Inn sign along Route 2 with a sign of similar dimensions in the same location with new content. The sign is located in the Route 2 Right of way and thus permission from the property owner is not necessary since the sign is grandfathered under DOT regulations.



The sign at the top of the hill near the Warfield complex buildings will be updated with a similar sign as well.

Other new wayfinding signs will be installed within the project limits in order to direct first-time visitors to their specific destination. These signs will be small and attractive.

Architecture

The application includes two separate activities; the renovation of the Warfield Inn, and construction of new resort cabins. The Warfield renovation includes two new decks and renovation of the southerly end of the building to improve the interior restaurant and wedding operations as well as increasing interior access to the views of Berkshire East Ski Area / Mount Institute and Snow Mountain to the east.

The cabins include two distinct building styles and some variation in sizes to provide variety to the resort and options to the patrons. The architectural styles are integrated into the land plan to maximize views and facilitate siting the buildings on the undulating hillside. Actual building styles and locations may vary from that depicted on the plans in order to best suite the landscape.

Special Permit Compliance:

The following paragraphs are copied from the zoning By-law outlining criteria for Special Permit review and compliance. The responses below are intended to document compliance with the By-law.

a) The degree to which the activity, site plan, and building design are consistent with economic development activities, including tourism, as identified in the Master Plan.

The proposed Hinata Retreat is consistent with the town's Master Plan. The proposed use is an expansion of current uses at this location and is in harmony with existing uses. The proposed use is tourism-related, does not compete with current uses including campgrounds or commercial recreation uses including skiing and biking. The glamping cabin use is a segment of the tourist and lodging portfolio that Charlemont currently does not have. Skiers and bikers will enjoy the nearby lodging, giving support to the existing uses and keeping tourists in Charlemont which is a stated goal of the master plan.

b) Capability of and cost to the Town to provide municipal services for the proposed use and premises, including police, fire, emergency services, and road maintenance and the ability of existing infrastructure to support the proposed use including but not limited to existing roads and bridges and their condition.

Municipal services: the current facility has a detailed agreement with the town for sewer capacity. The applicant will review any details or required modification to the facility, but is expecting that proposing less than using 2/3 of the approved capacity is acceptable.

Police and fire: the proposed access roads provide dimension and turning radii to accommodate emergency vehicles. The water system is designed to provide storage for firefighting and the units will be connected to a central alarm system to help first responders.

The facility is and will remain privately owned, not requiring maintenance or support from the town in any aspects.

c) Impact on the Town's school or other educational facilities.

The facility is a tourist destination and will have no direct impact on the local schools. The residents and patrons are transient and will not be using the local school system.

d) Consequences of sound, light, odor, noise, traffic congestion, or other disturbances for abutting and other properties that may be impacted.

This narrative addresses likely sources of impacts including traffic and lighting. The project will continue to host events and the noise will remain unchanged as the proposed improvements will be located north of the existing Warfield Inn and are remote to neighbors.

Traffic congestion is not a concern as proposed traffic is less than the traffic currently generated by the facility at full capacity under existing conditions. Existing and proposed events are the source of traffic which will remain virtually the same. The retreat cabins will generate moderate traffic and will likely be associated with events at full capacity. The development will generate elevated levels of background traffic but levels are estimated to be well below levels of service.

e) Environmental impact of the proposal, including the degree to which the proposal results in water, air, noise or light pollution; topographic change; removal of mature trees or other botanical assets; removal of cover vegetation; risk of erosion or siltation, increased storm water runoff from the site; or displacement of natural habitats

The proposed development is “clustered”, reducing the overall footprint, and has been carefully laid out to conform to existing topography. The result is the building footprint is reduced and minimized. The existing wood roads and trails provide an access route that minimizes disturbance. Overall, the development is planned carefully and appropriately.

A reduced footprint minimizes impacts such as stormwater runoff, tree removal, and erosion. The entire development area is remote from Rice Brook, the nearest significant environmental resource area. Hillside seeps create jurisdictional areas near the development but are not connected to the river and will be avoided to the extent possible. There is no habitat or other resource areas in the vicinity of the limit of work.

Natural Resource Areas:

A. Surface Water

Rice Brook, a perennial stream, flows north to south through the subject property. Several unnamed intermittent streams and ponds were also observed on the subject property.

B. Drinking Water Supplies

There are no Zone A or Zone II drinking water supply protection areas on or within 500-feet of the subject property. However, three (3) Interim Wellhead Protection Areas (IWPA) for PWS Well IDs 1341009-01G, 02G, and 03G are located on the subject property.

C. Protected Areas

There are no areas of critical environmental concern, EPA sole class aquifers, State, Federal, Municipal, Nonprofit and/(or) Private Open Space and/(or) Recreational Facility per the Mass GIS Map for the subject site.

D. Wildlife

The subject property is not located within a Priority and Estimated Habitat of Rare Wetlands Wildlife per the Mass GIS Mapping system.



f) Impact on existing traffic conditions and vehicular and pedestrian safety on all roads in town, particularly at intersections with the Mohawk Trail.

Route 2 has recently been upgraded by Mass DOT to include improved pedestrian facilities such as sidewalks. The intersection of Warfield Road is tricky as it has an angled intersection. However, the proposed development is remote with unlikely pedestrian activity in this direction. Walkers and hikers will utilize the on-site trails rather than Route 2 for walking.

The map to the right has yellow lines depicting walking trails near the site. Walking trails have varying levels of steepness (difficulty) and are numerous providing ample opportunities for pedestrians. With food service onsite, the need to walk to town is not likely to occur.

g) Degree to which the proposal is compatible with the character of the surrounding area and neighborhood.

While this is somewhat subjective and open to interpretation, I suggest the neighborhood character is established in large part by the Warfield Inn and its current uses as a farm, restaurant, and lodging facility. The proposed use will be consistent to the current uses.

h) Degree to which the proposal preserves scenic views and historic, natural, and cultural resources through site design, landscaping, and protection of resources.

The proposed use is clustered in the woods and uses existing farm roads for access roads. Thus, is non-intrusive as it relates to location and size considering the underlying property is over 470 acres in size.

i) Employment, housing, and fiscal consequences to the Town.

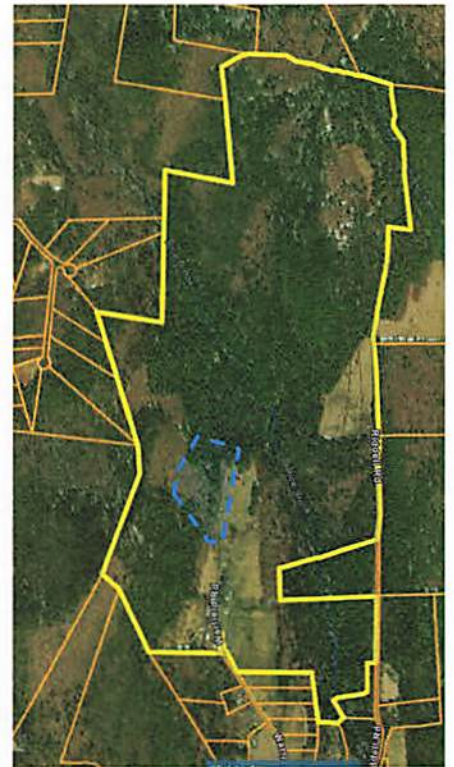
The proposed use will provide employment opportunities to local residents. The proponents are hands-on and expect to be involved on a day-to-day basis. In fact, they plan to relocate their primary residence to the area. The project does not have consequence but rather furthers the goals set forth in the Master Plan, filling a void in the lodging and hospitality options in Charlemont, (group lodging does not exist), and provide year round lodging rather than the seasonal options offered by camping.

k) Impact on agricultural or forestry operations or the productivity of the land for those uses.

The Warfield property includes approximately 473 acres of land. The proposal clusters new cabins in a $15 \pm$ acre area. The proposed area of new development is relatively small, including only 3.1% of the parcel area. As a result, opportunities for forestry and agriculture will continue on the remainder of the property. While livestock will no longer be onsite, forestry and cultivating fields used to grow grass for hay is expected to continue.

l) Capability of the Town or other public or private entities to provide water supplies, sewage treatment and storm water management.

Utilities including drinking water and stormwater management are managed privately onsite. Sewer disposal is managed under a previous agreement with the sewer district. The discharges are below



the approved sewer discharge allocation. Conservatively, the resort is expected to generate approximately 7,589 gls/day of wastewater. This amount is approximately 2/3 of the allocated wastewater flows for the property.

m) Other impacts on the Town including support of local products and businesses, protection of open space, provisions of recreational opportunities for Town residents and energy conservation.

The resort will support the local community. The lodging and resort will support Berkshire East by providing variety to the tourism lodging sector. Year-round lodging will support visitors to the ski area where none currently exists. The development is clustered leaving the majority of the property undeveloped. The resort use intends to support recreation onsite by maintaining the walking/biking trails. Lastly, the guests are expected to visit local restaurants in Charlemont and neighboring towns. Economic models predict tourism will bring dollars into the local community. Those dollars are then recirculated in the local economy through wages, supply chains, and employees.

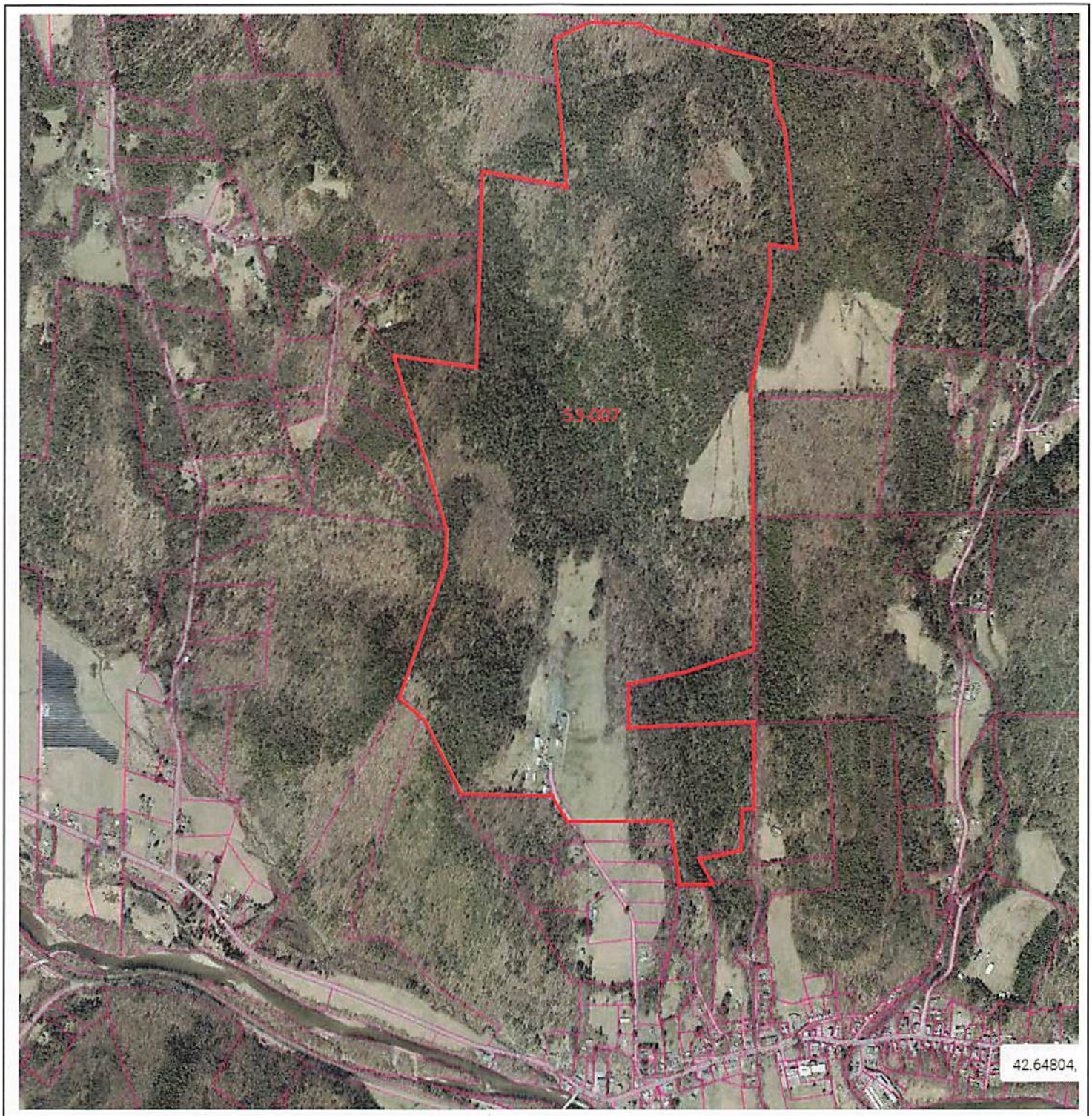
Site plan review

Site Plan Review establishes criteria for the layout, scale, appearance, safety, and environmental impacts of a development. A Site Plan Review checklist has been prepared to insure the project application contains all the information necessary for the Board to make an informed decision. The Checklist is found at Attachment A.

SECTION 5.0 – List of Other Required Permits & Approvals

At this time, the following additional permits and/or approvals are known to be required for the project:

1. Building Permit.
2. Liquor license (Select Board).
3. Order of Conditions (Conservation Commission)
4. Sewer Commission approval
5. Stormwater Pollution Prevention Plan (SWPPP)



SOURCE: Town of Charlemont GIS Mapping

FIGURE #2

Charlemont Assessor's Map
Warfield House Inn Property
133 Warfield Road
Charlemont, Massachusetts
(Map 53, Lot 7)



DESIGN GROUP, INC.

CIVIL ENGINEERS - SURVEYORS - CONSULTANTS

2 FEDERICO DR., PITTSFIELD, MA 01201

(413) 443-3537

Attachment A

Site Plan Review Checklist

**SITE PLAN REVIEW
CHECKLIST**

	<u>STATUS</u>	<u>SITE PLAN REVIEW CHECKLIST</u>	<u>REMARKS</u>
1	Completed	a) Name of project, boundaries, locus map(s), date, north arrow and scale of plan;	Refer to Project Plans
2	Completed	b) Name(s) and addressees of the owner(s) of the land, the developer (if applicable), and/or their designee;	Refer to Project Plans & Application Form
3	Completed	c) Name, title, and address of person(s) who prepared the plan;	Refer to Project Plans
4	Completed	d) Names and addresses of owners of abutting lots and those within 300 ft of property line;	Refer to attached List of Abutters
5	Completed	e) All existing and proposed lot lines, easements and rights of way;	Refer to Project Plans
6	Completed	f) Location and use of buildings and structures within 300 feet of the site;	Refer to Project Plans
7	Completed	g) Location and use of all existing and proposed buildings and structures on the site, including approximate height and floor area, with proposed building elevations as renderings;	Refer to Project Plans & Application Form
8	Completed	h) Location of wetlands, streams, drainage swales, areas subject to flooding and unique natural features on site and within 300 feet of the property line;	Refer to Project Plans & Application Form
9	Completed	i) The location and a description of all proposed storm drainage systems, utilities, snow disposal areas, and refuse- and other waste-disposal methods;	Refer to Project Plans & Narrative
10	Completed	j) Water provision, including fire protection measures;	Refer to Project Plans & Narrative

**SITE PLAN REVIEW
CHECKLIST**

	<u>STATUS</u>	<u>SITE PLAN REVIEW CHECKLIST</u>	<u>REMARKS</u>
11	Completed	k) Location of proposed sewer hook-up and evidence of sufficient capacity to serve the proposed use, or alternative septic plan;	Refer to Project Plans & Narrative
12	Completed	l) Existing and proposed topography at a two-foot contour interval for the proposed	Refer to Project Plans
13	Completed	m) Location of proposed public and private ways on the site;	Refer to Project Plans
14	Completed	n) Location and size of proposed parking and loading areas, driveways, walkways,	Refer to Project Plans
15			
16	Completed	p) Size and location of existing and proposed sign(s);	Refer to Project Plans & Narrative
17	Completed	q) Existing and proposed exterior lighting, utilizing full-cutoff down lighting fixtures, where	Refer to Project Plans & Narrative
18			
19	Completed	r) Surface drainage strategy that prevents increased drainage off-site or pollution; the Board will prefer measures that allow the roof run-off to permeate into the ground with pervious pavement;	Refer to Project Plans & Narrative
20	Completed	s) Existing vegetation that will be left undisturbed and proposed landscape features, including the location and a description of screening, fencing and plantings;	Refer to Project Plans
21	Completed	t) Design features which will integrate the proposed development into the existing landscape, maintain neighborhood character, and screen objectionable features from neighbors and roadways;	Refer to Project Plans & Narrative

**SITE PLAN REVIEW
CHECKLIST**

	<u>STATUS</u>	<u>SITE PLAN REVIEW CHECKLIST</u>	<u>REMARKS</u>
22	Completed	u) A complete list of chemicals, pesticides, fuels and other potentially hazardous materials to be used or stored on the premises in quantities greater than those associated with normal household use; provisions to protect against the discharge of hazardous materials or wastes to the environment, including spill containment and cleanup procedures; and provisions for indoor, secured storage of hazardous materials and wastes;	Not applicable
23	Completed	v) Estimated average daily and peak-hour vehicle trips to be generated by the site and traffic flow patterns for both vehicles and pedestrians, showing adequate access to and from the site and adequate circulation within the site.	Refer to project narrative
24	Completed	w) Adequate access to each structure for fire, service and other emergency equipment.	Refer to Project Plans & Narrative

Attachment B

Water System Design

Water System Analysis
Warfield Road
Charlemont, MA

Fixture unit count

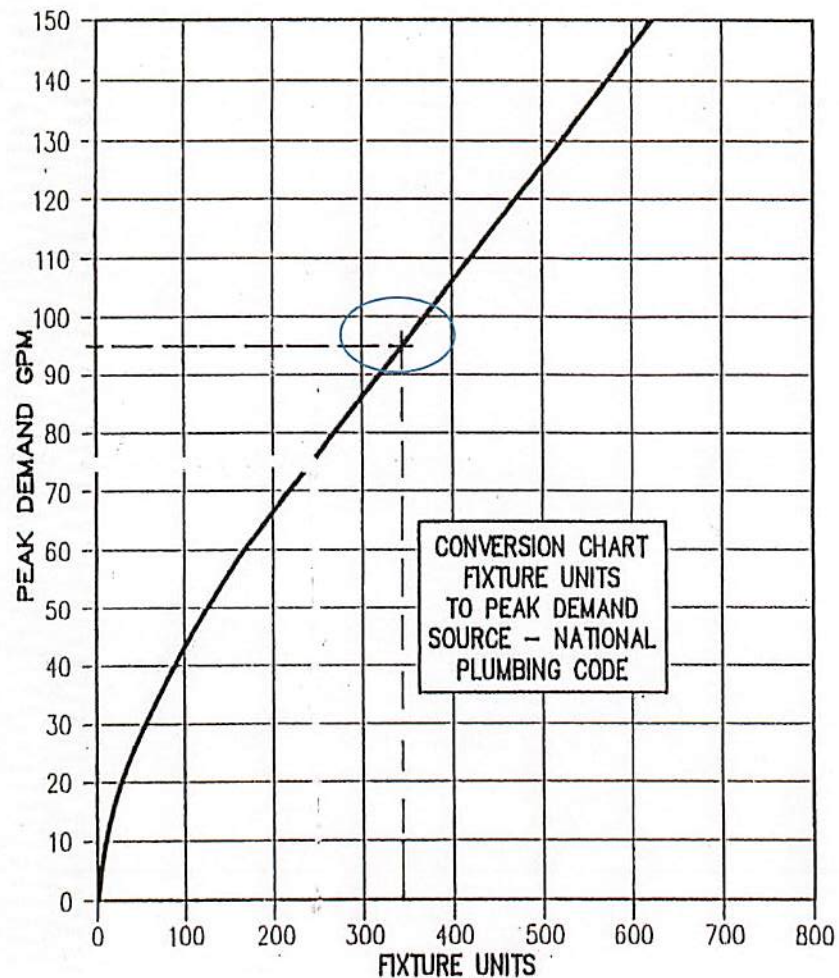
Warfield House

Types of fixtures	Quantity	# of FU per Fixture	Total # of Fixtures
Half Bath/Lavatory	5	2	10
Additional fixtures	9	3	27
Bungalow			
Lavatory	4	2	8
Shower/tub	2	2	4
Main House			
Ground floor			
Lavatory	2	2	4
Shower/tub	2	2	4
Kitchen sink	2	2	4
Dishwasher	2	2	4
Upper floor			
Lavatory	4	2	8
Shower/tub	4	2	8
3rd floor			
Lavatory	4	2	8
Shower/tub	4	2	8
Hose Bib	4	3	12
New Development	32	7	224
Total Fixture			333

<u>Types of Fixtures</u>	<u>Private Use</u>	<u>Public Use</u>
Bar Sink	1	2
Bathtub (with or without shower over).....	2	4
Dental unit or cuspidor.....	-	1
Drinking fountain (each head).....	1	2
Hose bibb (standard type faucet)	3	5
House trailer (each).....	6	6
Laundry tub or clothes washer	2	4
Lavatory	1	2
Lavatory (dental)	1	2
Lawn sprinklers (standard type each head)	1	1
Shower (each head)	2	4
Sink (bar)	1	2
Sink or dishwasher	2	4
Sink (flushing rim, clinic)	-	10
Sink (washup, each set of faucets).....	-	2
Sink (washup, circular spray)	-	4
Toilet (flush tank)	3	5
Toilet (flushometer valve)	6	10
Urinal (pedestal or similar type)	-	10
Urinal (stall or wall).....	-	5
Urinal (flush tank)	-	3

Water System Analysis
Warfield Road
Charlemont, MA

Fixture unit: The rate of discharge of water through a plumbing fixture wherein 7½ gallons per minute is equal to one fixture unit.
Water Storage must equal the rate of discharge (7.5 gpm) minus the rate of supply times peak demand



Based upon the above conversion chart the facility has a peak demand of 95 gpm

Title V flow 7589 or 8000 GPD

Water usage = 0.5 of wastewater flows per Title V

Water usage = 4000 GPD

Water storage must provide 24hrs of storage or 4000 gallons

Attachment C

Preliminary Architectural Plans

Cabins

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. $3/8" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. ADJUST WITH YOUR BUILDER TO ACCOMMODATE YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE APPROVED BY YOUR LOCAL ARCHITECT/DESIGNER BEFORE CONSTRUCTION.
4. THIS DRAWING SET IS NOT INTENDED FOR PERMITTING OR CONSTRUCTION. CONSULT WITH YOUR LOCAL BUILDING DEPARTMENT FOR ANY BUILDING CODE REQUIREMENTS.

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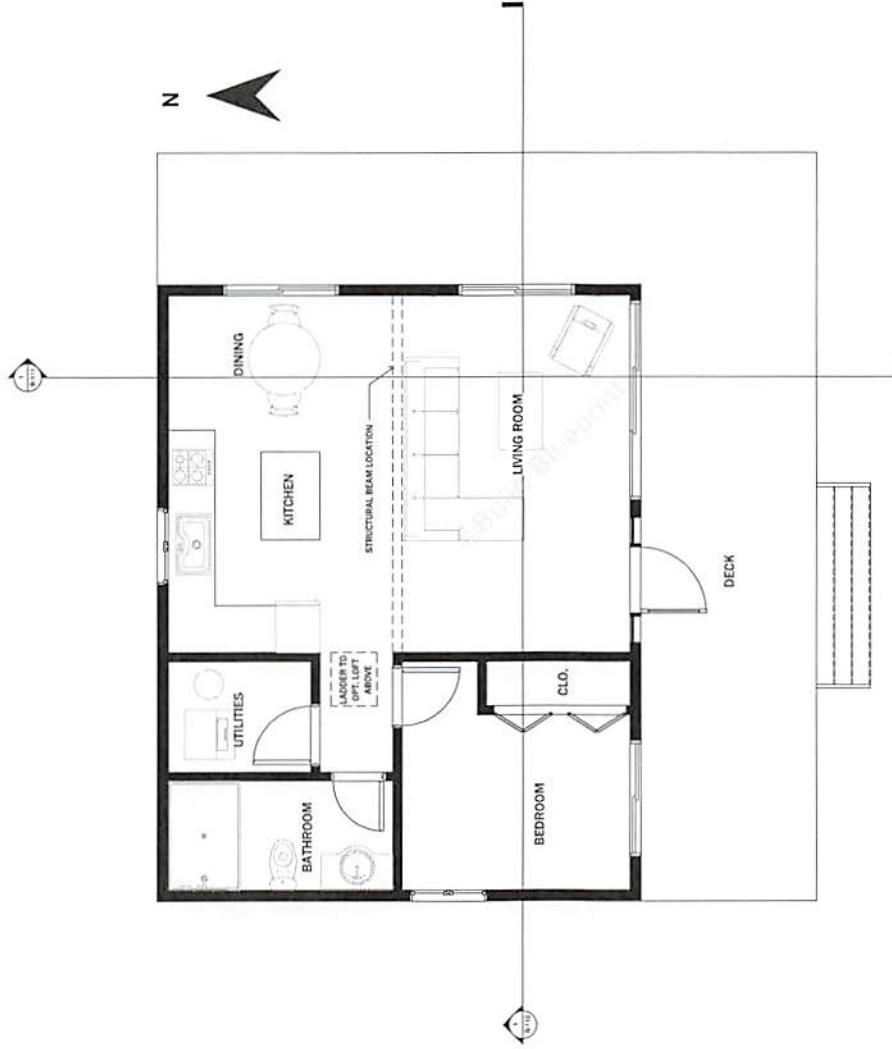
22x28 LEAN COTTAGE

GROUND FLOOR PLAN

Project number	BB-1150043
Date	
Drawn by	BB
Checked by	JL

A-001

Stained Quartz	
Scale	3/8" = 1'-0"



GROUND FLOOR PLAN
SCALE = 3/8" = 1' - 0"

NOTES

- 1 DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. 1/4" = 1'-0"
- 2 CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE YOURS TO USE FOR YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
- 3 MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE YOURS TO USE FOR YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
- 4 THIS DRAWING SET IS NOT INTENDED FOR PERMITTING OR CONSTRUCTION. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOLLOWING ALL LOCAL BUILDING CODE REQUIREMENTS.

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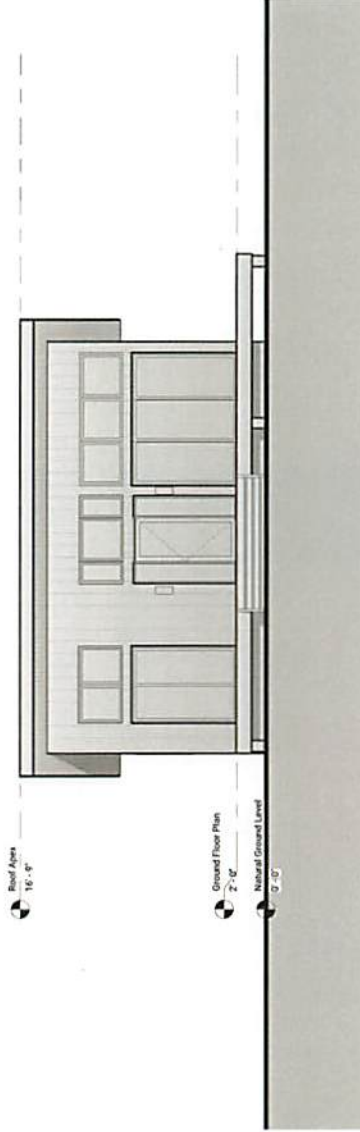
22x28 LEAN COTTAGE

ELEVATION I

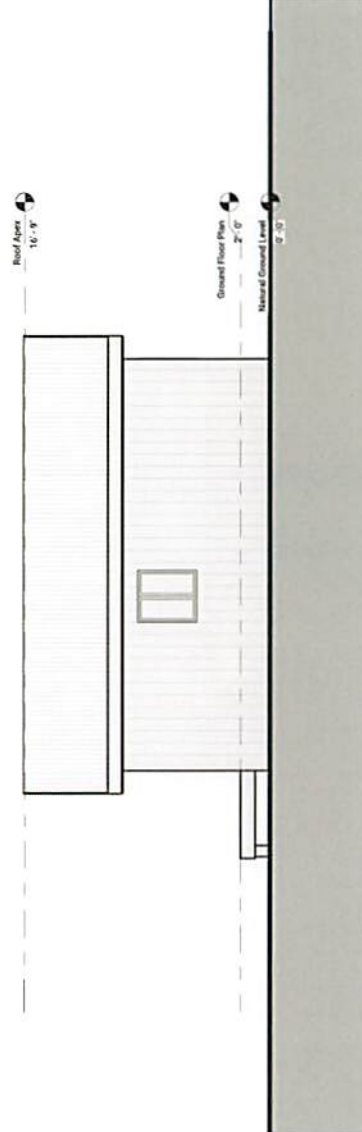
Project number	BB-H00643
Date	
Drawn by	BB
Checked by	JL

A-002

Speed 14.7500	
Scale	1/4" = 1'-0"



SOUTH EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"



NORTH EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"

DEN A-FRAME RETREAT

DESIGN STANDARDS: 2018 INTERNATIONAL RESIDENTIAL CODE
CONSTRUCTED FLOOR AREA: 840 SF ± 210 SF LIFT
HOUSE HEIGHT: 21' 8" ABOVE GRADE
LEVEL: 1 ± LIFT ± GRADE SPACE
LEVEL: 1 ± LIFT ± GRADE SPACE
WATER HEATING SYSTEMS: TANKLESS ELECTRIC
WATER HEATING SYSTEMS: TANKLESS ELECTRIC
PDF PRINT DESIGN SIZE: 24" X 36" for print size 12" X 18"

DEN A-FRAME
© 06/1 2022 denaframe.com

SHEET INDEX

- A0-00 COVER PAGE
- A0-01 GENERAL NOTES
- A0-02 LOADING DIAGRAM
- A0-10 DOOR & WINDOW SCHEDULE
- A1-00 FLOOR PLAN
- A1-01 FLOOR PLAN
- A1-02 FRAMING PLANS
- A1-03 FRAMING PLANS
- A1-04 FRAMING PLANS
- E-01 ELECTRICAL PLANS
- P-01 PLUMBING PLAN
- A2-00 EXTERIOR ELEVATIONS
- A3-00 SECTIONS
- A4-00 ENLARGED PLANS AND INT. ELEV.
- A5-00 BUILDING DETAILS
- A5-01 BUILDING DETAILS
- A5-02 BUILDING DETAILS
- A5-00 3D VIEWS

DEN

- CONSTRUCTION NOTES
- 1. All work shall conform to all state and applicable codes & ordinances.
 - 2. The drawing is to be used as a guide only. It is not to be used as a basis for construction.
 - 3. Materials and methods of construction shall be as shown, unless otherwise indicated.
 - 4. Quality of workmanship shall be as shown, unless otherwise indicated.
 - 5. Items not shown but needed in accordance with the performance of the building, are considered part of the work.
 - 6. All work is to be completed for completion of the building.
 - 7. All trades will coordinate with each other to facilitate the progress of the entire job.
 - 8. Contractors to be present for public and private inspections during the period of construction with adequate working drawings, including framing, electrical, etc.
 - 9. All changes or substitutions are to be approved by the owner before being implemented into the work.
 - 10. Conditions of all subcontractors shall be as shown, unless otherwise indicated.
 - 11. All subcontractors shall be licensed and bonded for the work.
 - 12. All subcontractors shall be bonded for the work.
 - 13. All subcontractors shall be bonded for the work.

CONSTRUCTION DOCUMENTS

NOT FOR CONSTRUCTION

Revisions

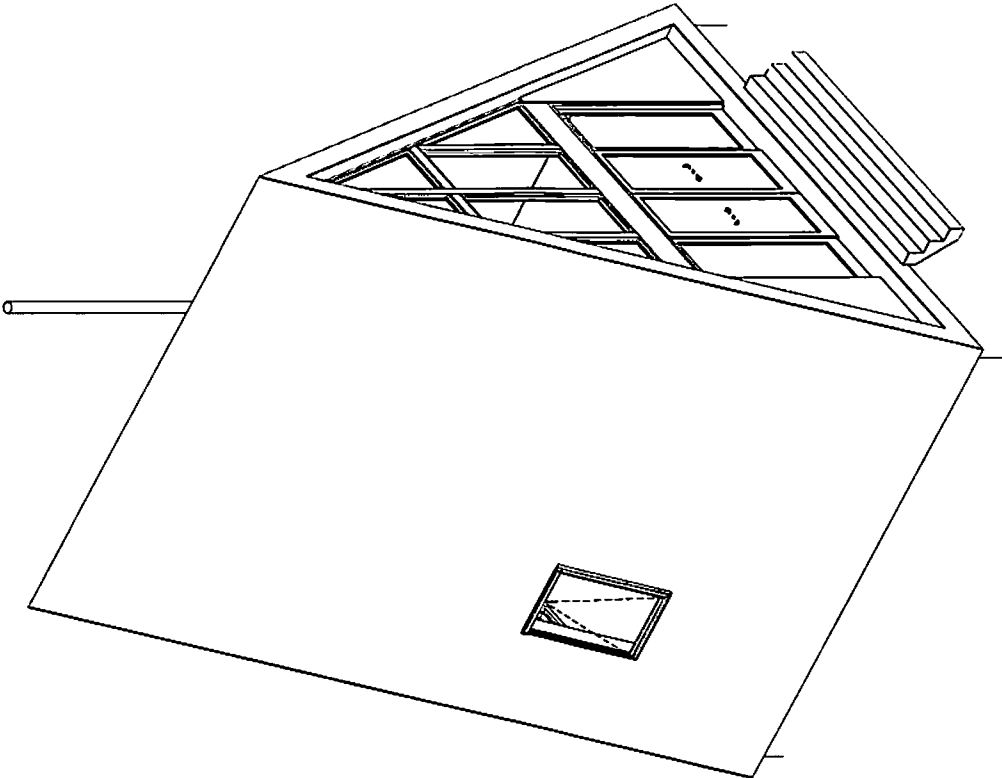
Project
DEN A-FRAME
RETREAT

Project Location

Sheet Title
COVER PAGE

A0-00

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[illegible]

**NOT FOR
CONSTRUCTION**

References

DEN A-FRAME RETREAT

Product Location

FLOOR PLANS
A1-00

2116227 **2022** **NOV 11**



A3-00

SECTIONS

Sheet Title

DEN A-FRAME
RETREAT

1994

CONSTRUCTION DOCUMENTS

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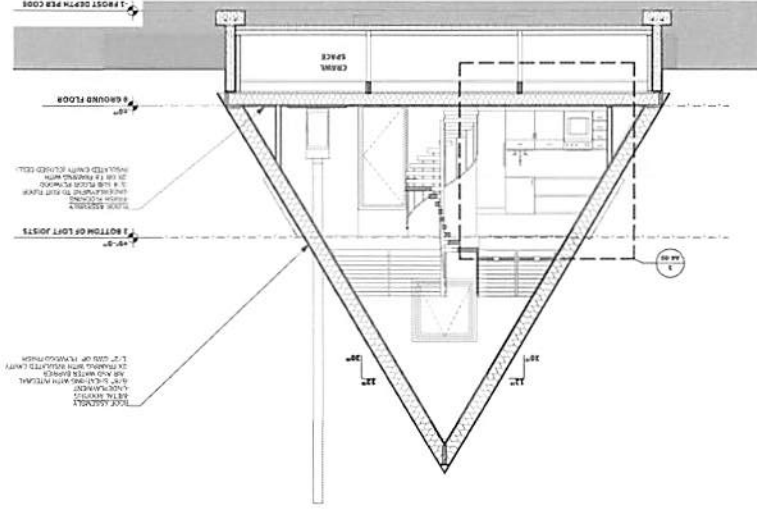
2

1. *What is the purpose of the research?*
2. *What is the research design?*
3. *What is the research methodology?*
4. *What is the research instrument?*
5. *What is the research population?*
6. *What is the research sample?*
7. *What is the research data?*
8. *What is the research analysis?*
9. *What is the research conclusion?*
10. *What is the research recommendation?*

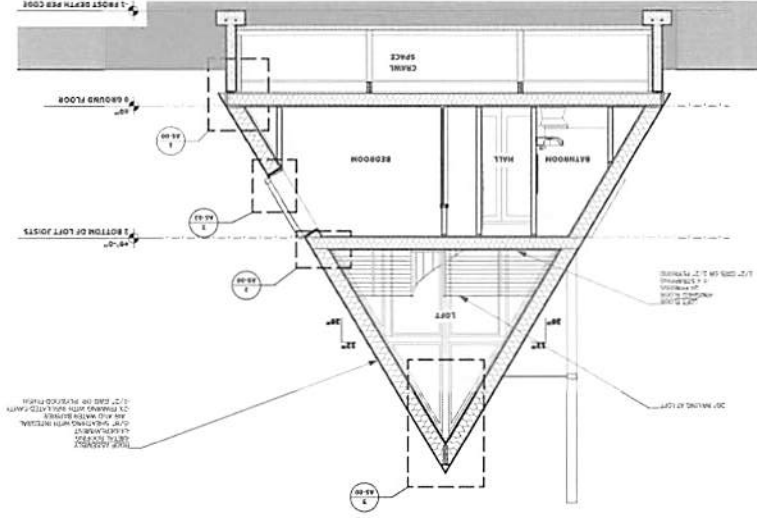
9-4320

DEN

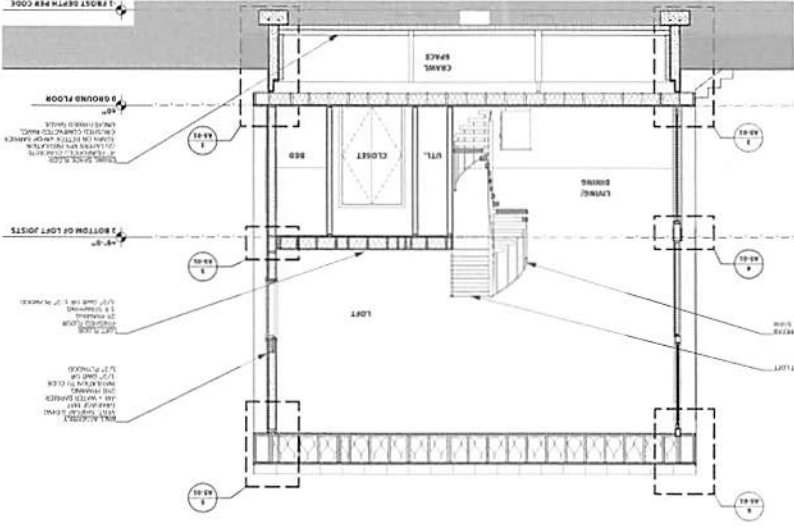
SECTION @ KITCHEN AND LIVING ROOM



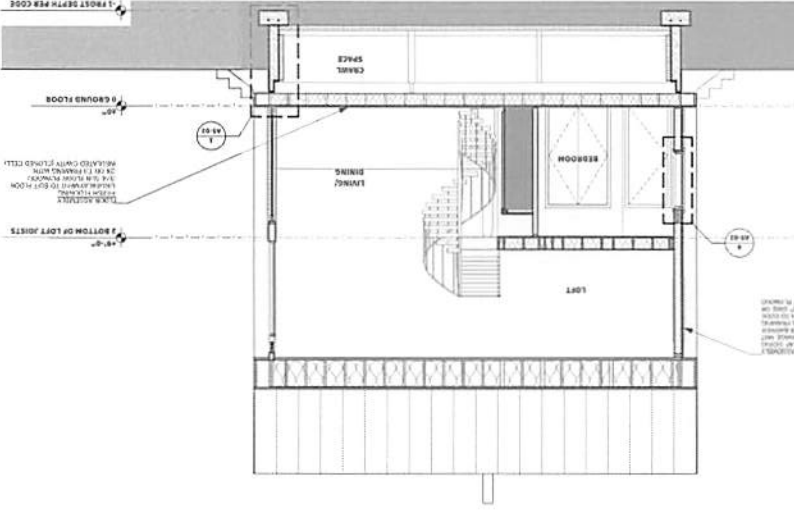
SECTION @ BEDROOM AND BATHROOM



LONG SECTION @ BEDROOM AND LIVING/DINING



LONG SECTION @ BEDROOM AND KITCHEN

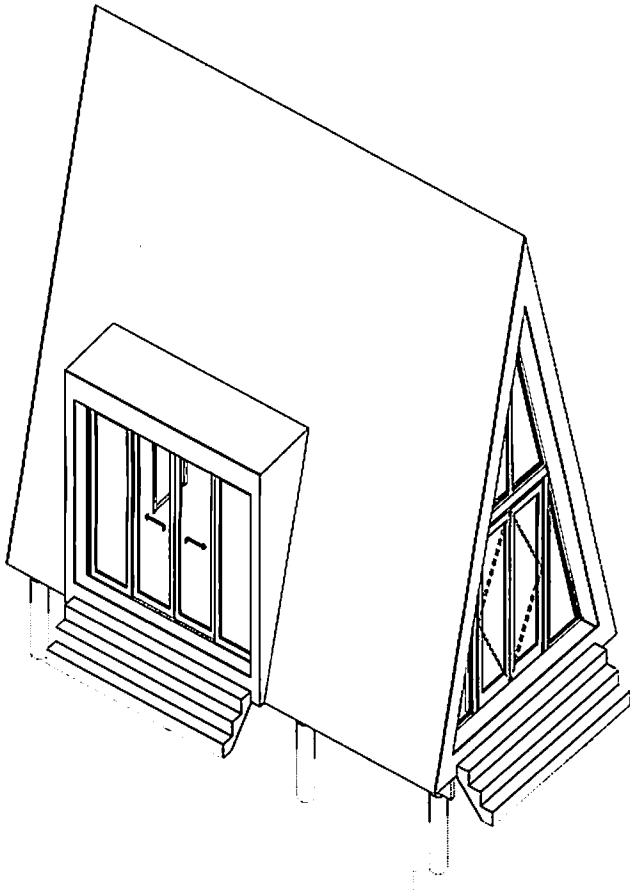


DEN A-FRAME WEEKENDER

DESIGN STANDARD(S): 2018 INTERNATIONAL RESIDENTIAL CODE
LEVELS: 1
FOUNDATION: CONCRETE PIER & FOOTING
HEATING SYSTEM(S): MINI-SPLIT HEAT PUMP
WATER HEATING SYSTEM(S): TANKLESS ELECTRIC
PDF PRINT DESIGN SIZE: 24" X 36" (or print half size 12" x 18")
DEN A-FRAME WEEKENDER
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SHEET INDEX

- A0-00 COVER PAGE
- A0-01 GENERAL NOTES
- A0-02 DESIGN GUIDE
- A0-03 WORD LOADING
- A1-00 FLOOR PLANS
- A1-01 DOOR & WINDOW SCHEDULE
- A1-02 FRAMING PLANS
- A1-03 FRAMING PLANS
- E-01/P-01 PLUMBING AND ELECTRICAL PLANS
- A2-00 EXTERIOR ELEVATIONS
- A3-00 SECTIONS
- A4-01 ENLARGED FLOOR PLAN
- A5-00 BUILDING DETAILS
- A5-01 BUILDING DETAILS
- A5-02 BUILDING DETAILS
- A9-00 3D VIEWS



DEN

Construction Notes

1. All work shall conform to all state and applicable codes & ordinances.
2. No drawing is to be modified, nor dimensions only.
3. Dimensions are taken from face of masonry, concrete or steel stud framing members unless otherwise indicated.
4. Confirm all existing conditions before proceeding with the said work.
5. Issues not noted, but implied as necessary for the performance of the contract, are considered part of the work.
6. All work is to be protected by measures taken by the owner.
7. All trades will cooperate with each other to facilitate the progress of the entire job.
8. Considered to be protect the public and premises during the period of construction with adequate shoring, bracing, lighting, ventilation, etc.
9. All changes or substitutions are to be approved by the owner before being incorporated into the work.
10. Conform to all manufacturer's instructions & specifications for the installation or use of all materials unless otherwise noted.
11. All exterior finishes, textures to conform with masonry, concrete, or steel to be pressure treated.

CONSTRUCTION DOCUMENTS

NOT FOR CONSTRUCTION

Revisions

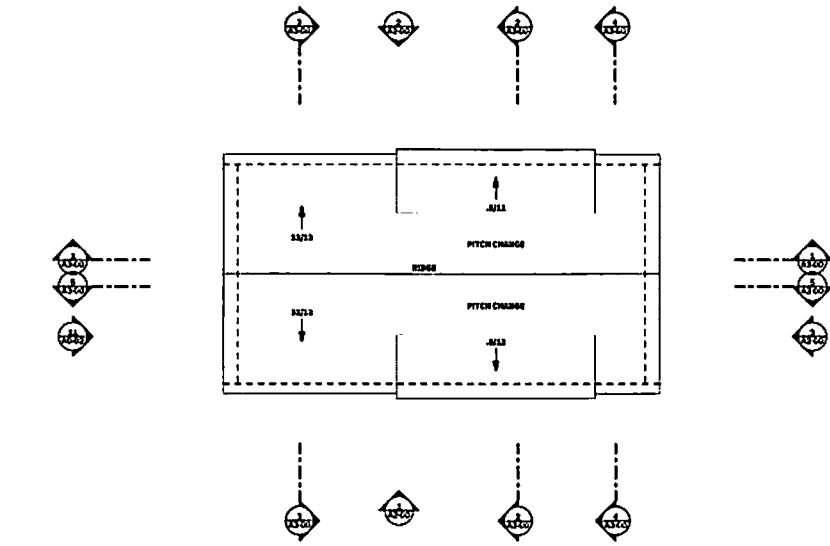
NO.	DESCRIPTION

Project
A-FRAME WEEKENDER

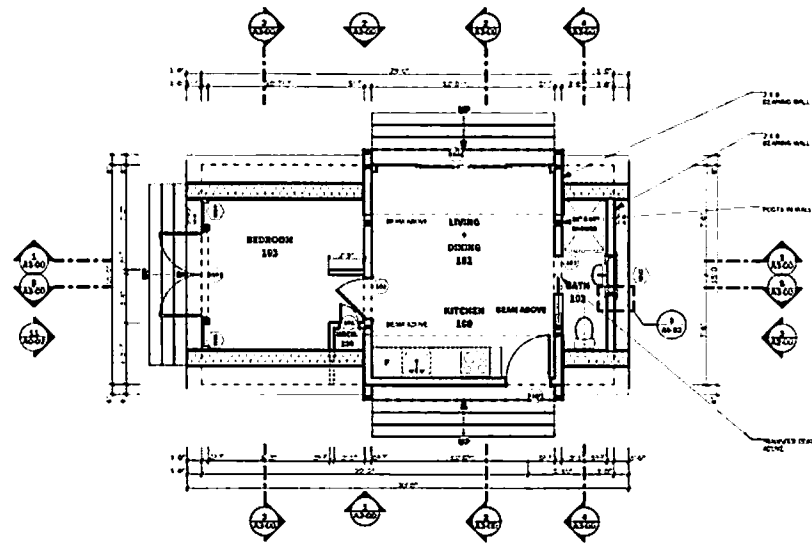
Project Location

Sheet Title
COVER PAGE
A0-00

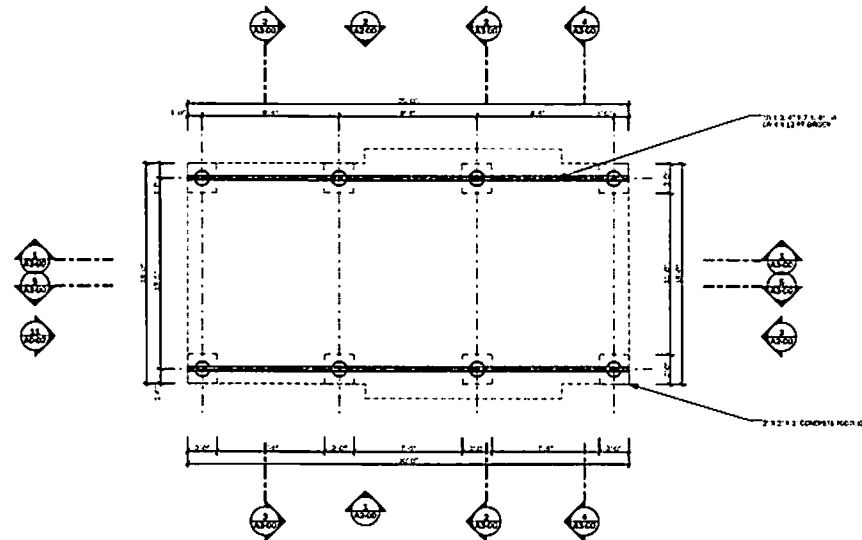
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3 ROOF PLAN
SCALE: 3/4" = 1'-0"



2 GROUND FLOOR PLAN
SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN
SCALE: 3/4" = 1'-0"

DEN

- Construction Notes**
- All work shall conform to all state and applicable codes & ordinances.
 - No drawing is to be worked, nor dimensions only.
 - Dimensions are taken from face of masonry, concrete or wood stud framing members unless otherwise indicated.
 - Confirm all existing conditions before proceeding with the work.
 - Signs not noted, but implied as necessary for the performance of the contract, are considered part of the work.
 - All work is to be protected by enclosures erected to their ends.
 - All trades will cooperate with each other to facilitate the progress of the entire job.
 - Contractor is to protect the public and premises during the period of construction with adequate posting, lighting, signage, ventilation, etc.
 - All changes or substitutions are to be approved by the owner before being incorporated into the work.
 - Conform to all manufacturers' instructions & specifications for the installation or use of all materials unless otherwise noted.
 - All exterior finishes, finishes in contact with masonry, concrete, or soil to be pressure treated.

Issued
CONSTRUCTION DOCUMENTS
Issued Date
NOT FOR CONSTRUCTION
Revisions

Project
A-FRAME WEEKENDER
Project Location
Sheet Title

FLOOR PLANS
A1-00

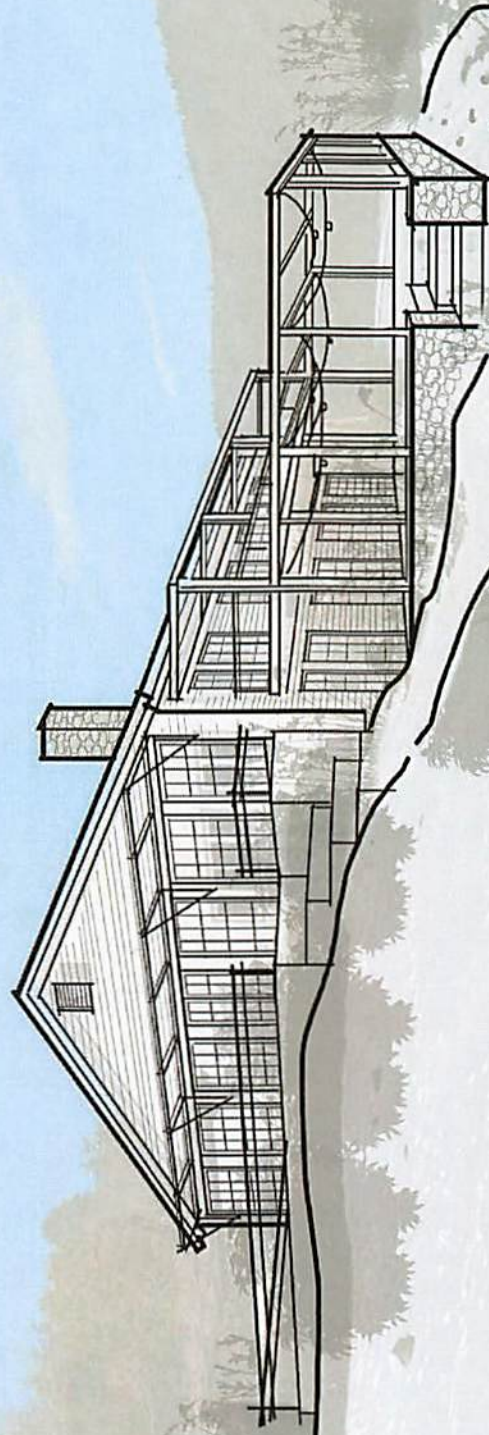
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Restaurant

WINDOWS + DOORS AREA ESTIMATES:

SOUTH GABLE FACADE
49' X 9' / 441 SF

EAST FACADE
70' X 9' X 2 / 1260 SF



LOBBY LOUNGE + RESTAURANT

Hinata

SHELTER

1

14 FEB 2024

WINDOWS + DOORS AREA ESTIMATES:

WEST GABLE FACADE
21' X 9' / 189 SF

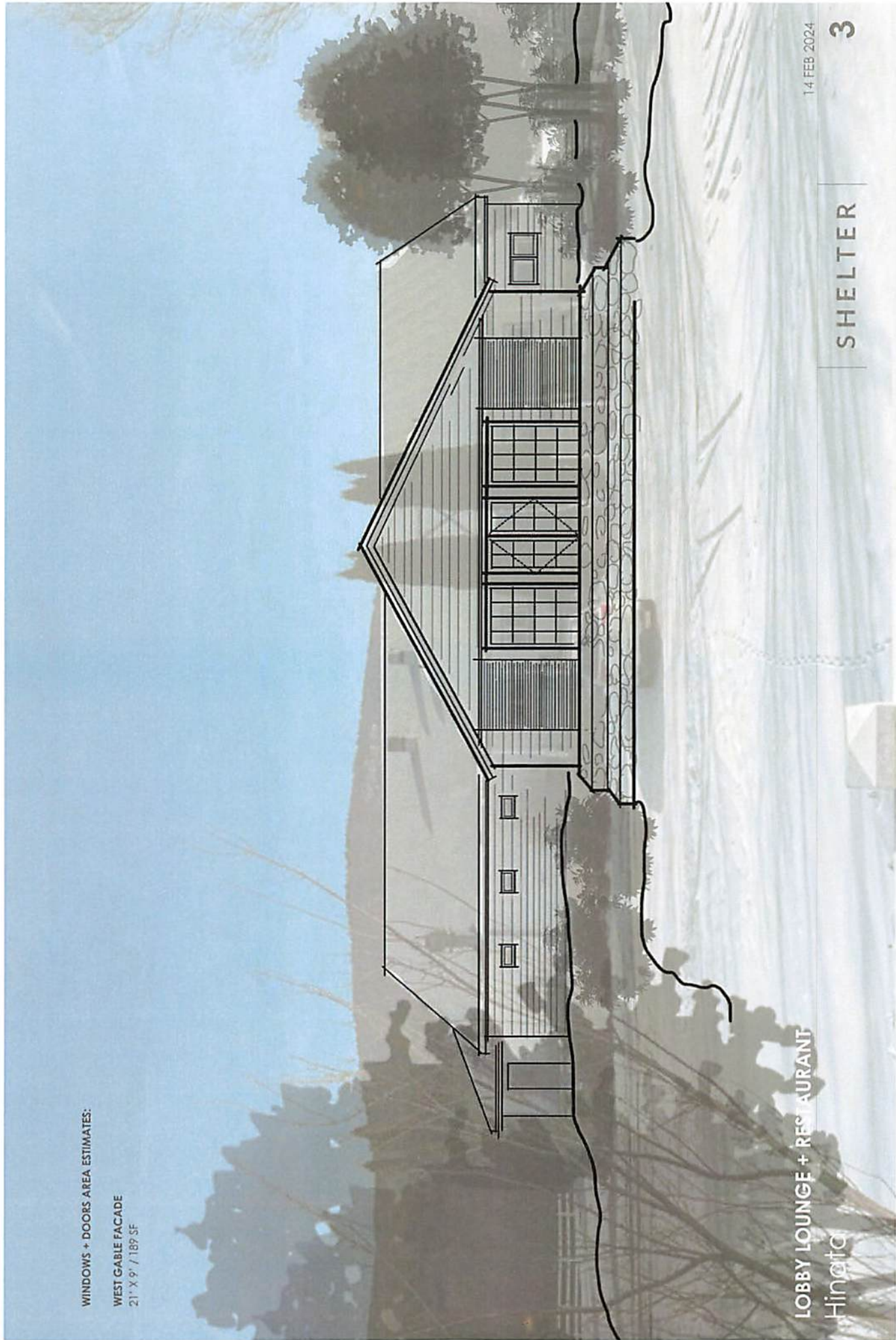
LOBBY LOUNGE + RESTAURANT

Hingata

SHELTER

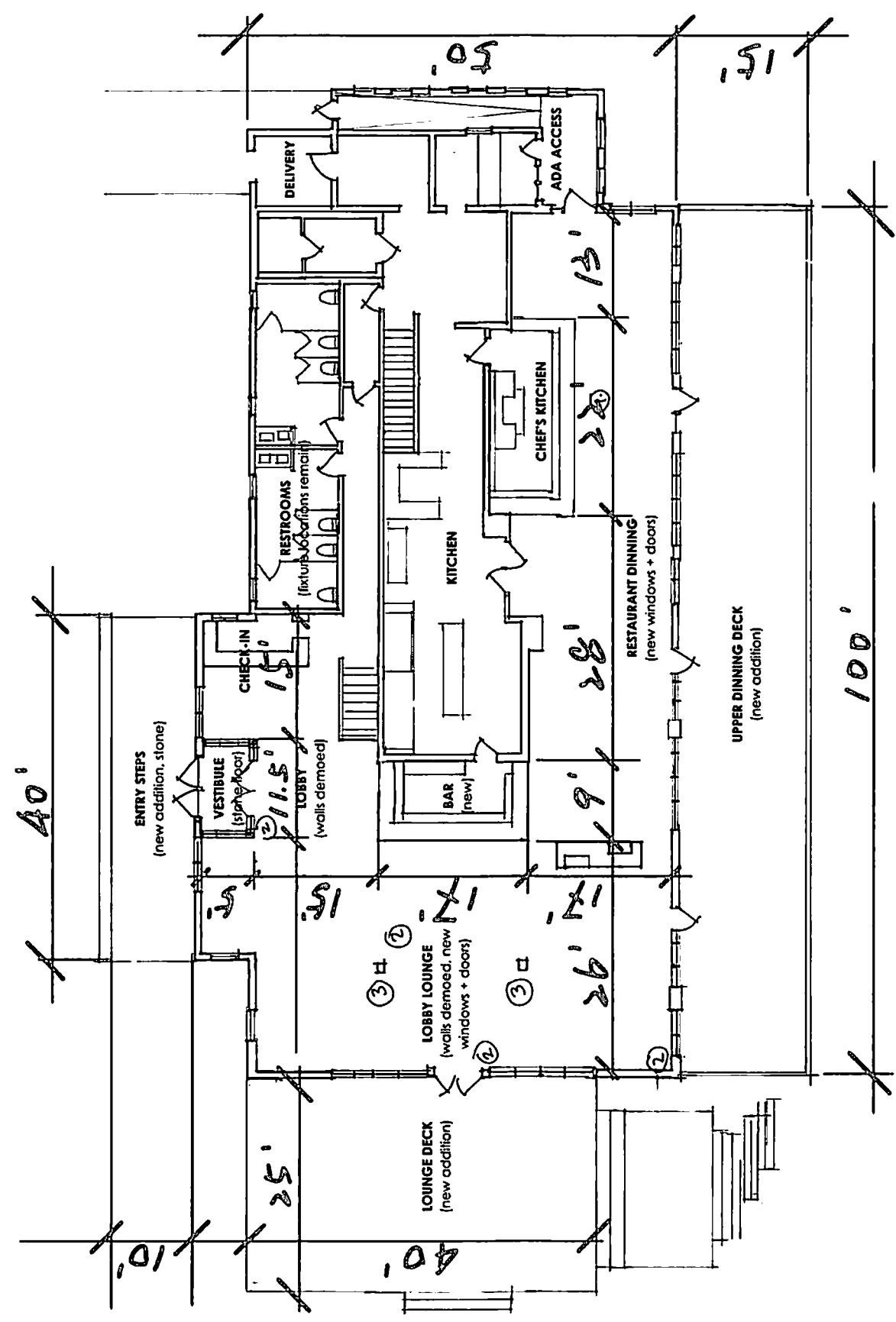
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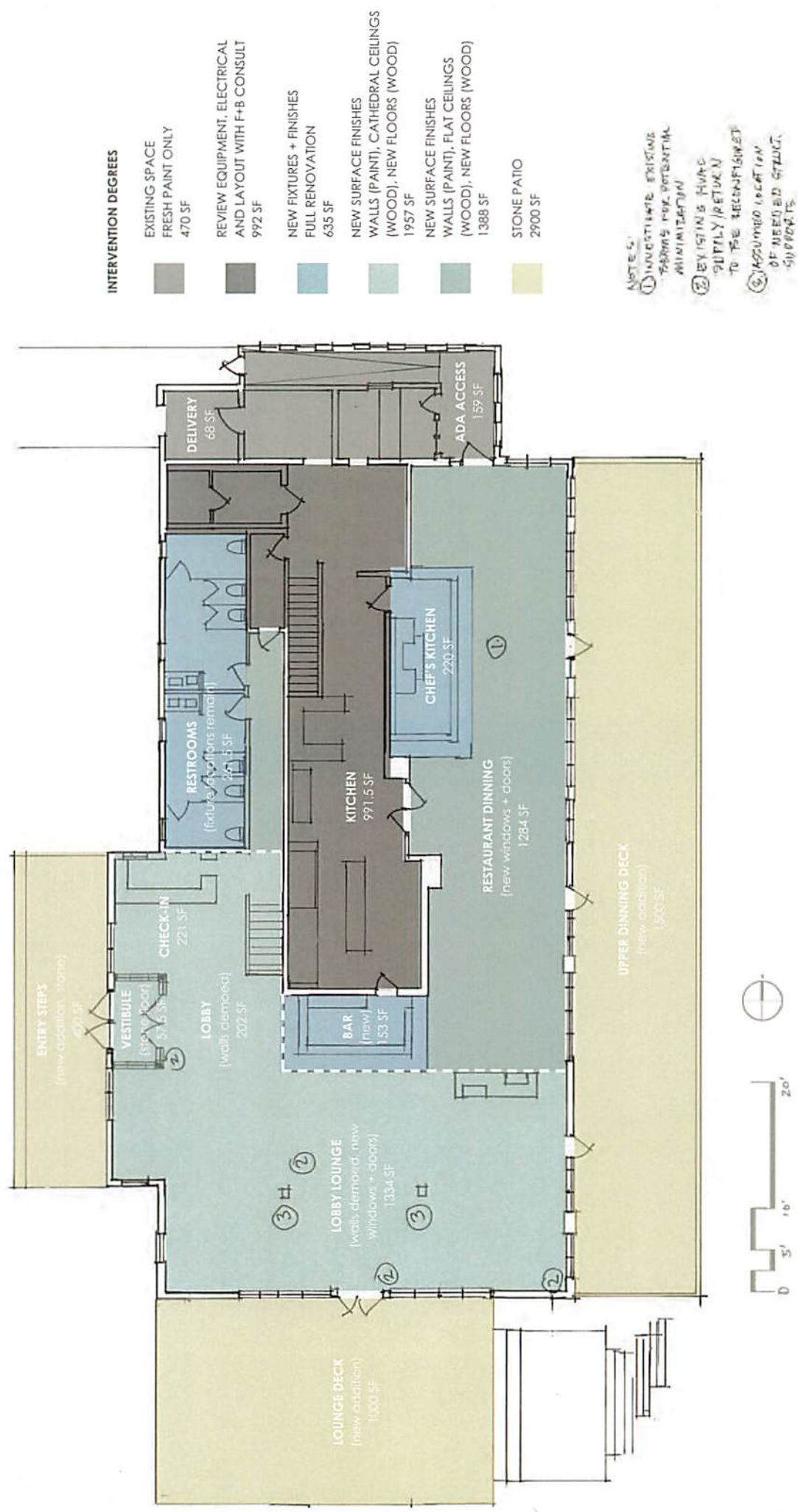
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LOBBY LOUNGE + RESTAURANT - UPPER FLOOR PLAN W/ DIMS

Hinata





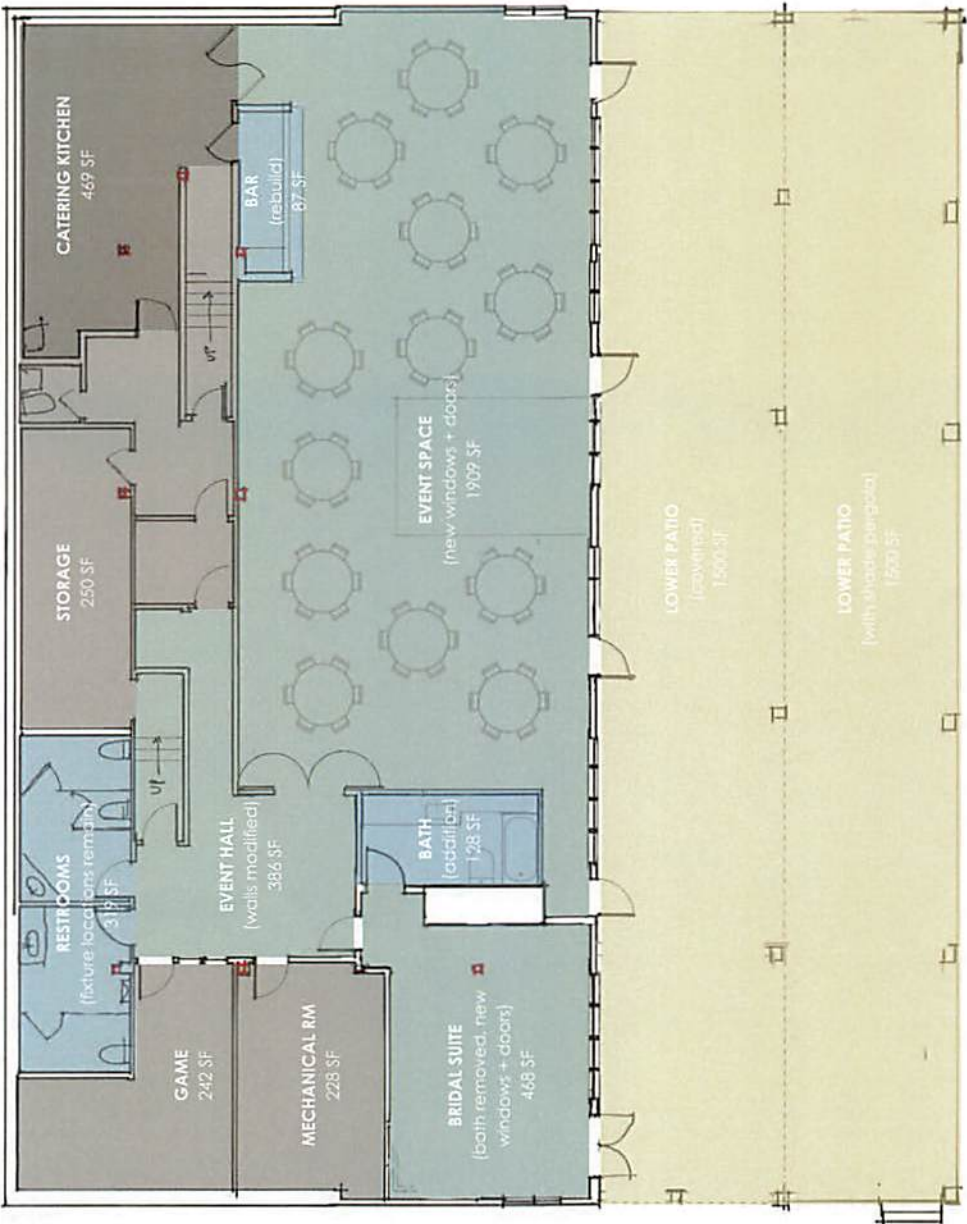
LOBBY LOUNGE + RESTAURANT - UPPER FLOOR PLAN AREAS

Hinata

SHELTER

14 FEB 2024

6



Attachment C

Site Plans

Attachment D

Site Plans